

HERITAGE IMPACT ASSESSMENT

The Rectory, 7 Laura Place, Aberystwyth – Conversion of Dwelling into 4 Apartments and 1 dwelling



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1. Introduction and Objectives

This heritage statement has been prepared to accompany the planning application and listed building application for proposed works on no.7 Laura Place, Aberystwyth specifically the internal conversion of the building into luxury apartments with one dwelling.

The property Grade II* Listed, designated as such in July 1961. The listed building description is referenced in detail further on in this report but as per a number of the terraces within the town, is listed for its group value and the importance of these properties along the street scene adjacent to the original University Building.

The property is situated centrally within the Town's Conservation Area as defined within the LDP, adopted in April 2013.

The property is end terraced, being dominant on the street scene, however, like most of the properties along this terrace they retain similar features in terms of their fenestration and decorative porches. The property is split over 4 floors, including useful basement rooms which the scheme will seek to take advantage of.

It is important to emphasise at this point that the external appearance of the property will remain as per the existing elevations. There is no intention to carry out any external works, except painting.

The proposal comprises the conversion of the building into high quality apartments.

See the accompanying drawings for further information.

2. Historical and Architectural Significance

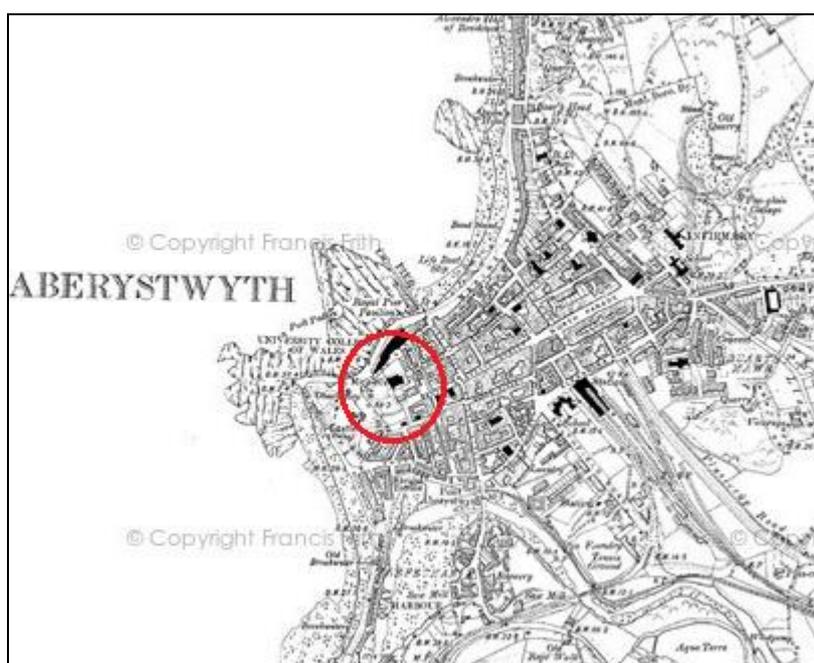
Historical Context.

Aberystwyth still retains evidence of its medieval castle and town walls, dating from 1277; this foundation was preceded by an earlier castle on a different site, by a Celtic Christian clas at Llanbadarn Fawr and by prehistoric settlement.

The seafront has many Victorian and Edwardian buildings including the Old College which is located close to the ruins of the castle.



Aberystwyth Town Map 1834 (Laura Place circled)



Aberystwyth Town Map 1904

7 Laura Place, Aberystwyth

Although the uses have changed over time the actual buildings themselves are thought to have remained as first designed with its feature sash windows, decorative porches and dormer windows being a notable feature along with the attractive railings to the front.

Aesthetic Context. 7 Laura Place, like so many of the similar town houses of Aberystwyth relies on simple and solid proportions, the small-paned sashes and hipped roof on deep eaves typical of the period. The principal form includes 3 sash windows to the first floor, typical of end terraced houses within the town. A notable feature along this terrace are the positions of the main doors which tend to be near the boundaries with other properties, rather than in a central position as one would typically expect. In this particular instance the main entrance door is positioned to the side of the building on New Street.

Communal Value. The property is listed for its group value and the importance placed on protecting the street environment within Aberystwyth traditional town centre.

Evidential Context. Like most historical with limited modern extensions existing to the rear of the buildings along the terrace but it has been widely accepted by the LPA and CADW that sympathetic and more modern alterations to the rear elevations do not detract from the main function of the reason for listing these properties.

3. Justification for the Proposed Works

The building has recently been vacated by the Church in Wales and is currently one dwelling split across 4 floors. The main living accommodation is from street level and above with a useful basement on the lower ground floor which is in excellent condition, thanks to tanking and damp improvement works some 10 years ago.

The sale of the property followed an extensive and fully transparent marketing exercise.

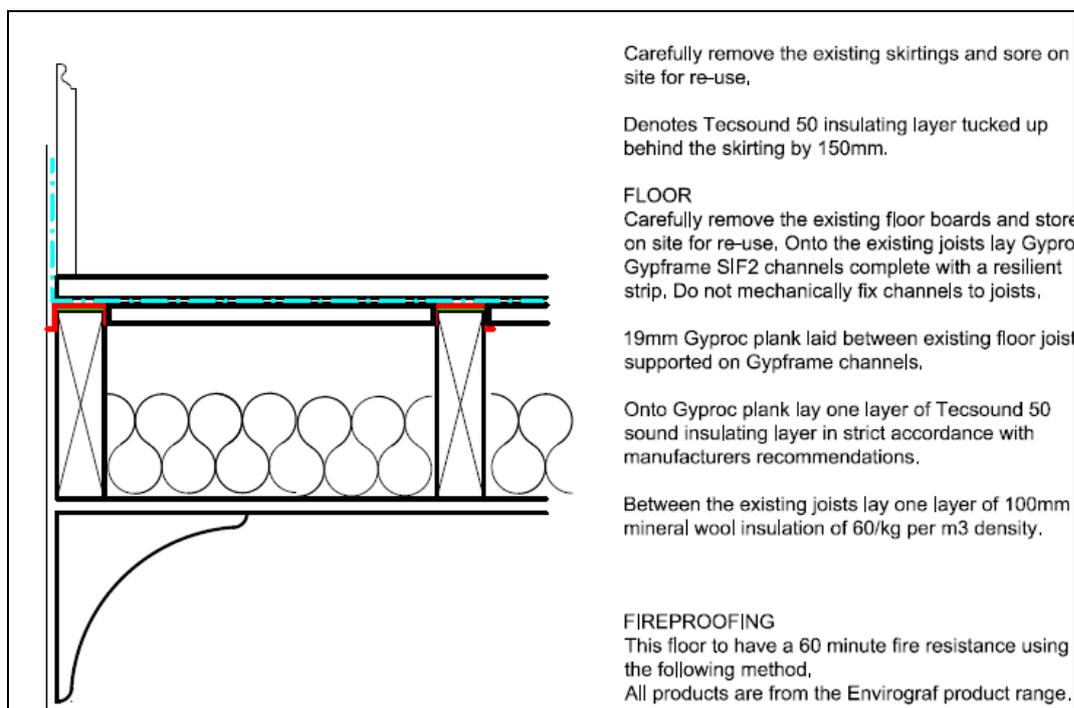
Internally, the building is typical of standard large historic town houses with notable and historic features being fully retained in all rooms.

Within the building, false partitions, suspended ceilings and strip lighting as well as general blocking of former fire places (in some cases cheap replacements) are evident and will be carefully removed to restore existing features.

The original cast iron fire places remain throughout along with the original staircase which is a dominant feature in the main entrance hallway and will remain.

Notable features within this building include original high ceilings with original covings. Those that are damaged will be repaired or replaced in line with the schedule of works.

To ensure the development meets fire regulations and protects the ceiling and floor finishes the applicant is willing to go to great lengths (and expense).



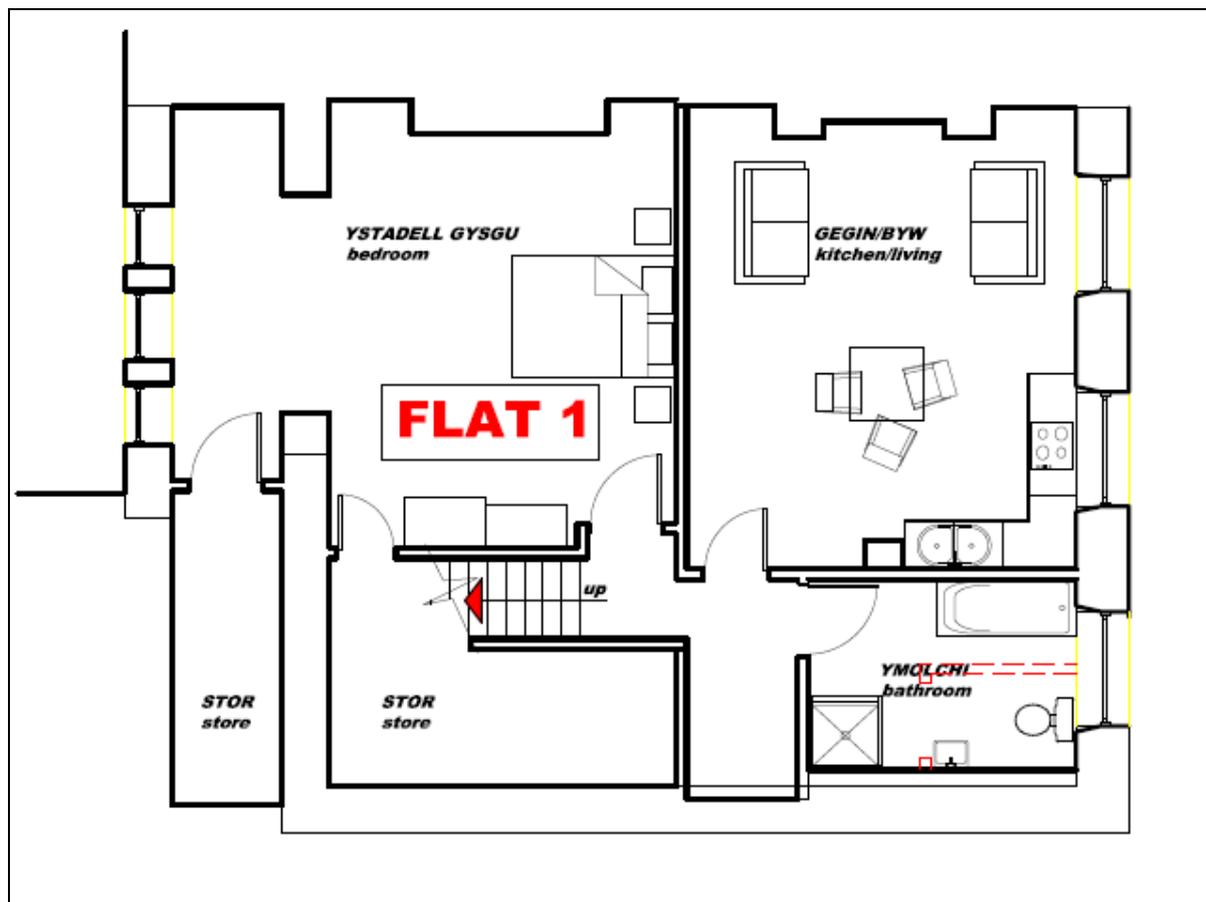
Those original features that remain evident will be cleaned and enhanced to their former glory. Detailed records of all ceiling cornices, covings, decorative plastering and archways will be taken and the features exposed throughout.

General Scope of Works

Internal Works	
Cornices/Covings	All existing Cornices/Covings to be protected at all times.
Arch	The existing Ground Floor feature arches on each property feature to be retained.
Plaster	Existing gypsum plaster to be removed where required. Re-plaster in lime mortar, thickness to match the existing.
Fire Place	The existing fireplaces to remain. Allow for protection during the works.
Fireproofing	<p>Each floor to have a 60 minute fire resistance using the following method. All products are from the Envirograf product range.</p> <p>Clean off any existing ceiling paper and scrape off any loose paint. If gloss paint rub down and coat with Product 93 ES/Stabond. Ensure that all distemper is removed from the ceilings.</p> <p>Seal off all cleaned ceilings with Product 93ES/Stabond to aid adhesive not to dry out due to ceiling absorbing moisture. Cut the Product 84 Envirograf S/Ceiling intumescent cloth to size and apply to ceiling, applying the adhesive using a comb float. Apply a coat of CA/N adhesive to the ceiling using a serrated edged application. Use a clean scraper and roll with a paper type roller the S/Ceiling paper onto the ceiling.</p> <p>Emulsion paint the ceiling after 2-3 hours. Note the white side of the S/Ceiling product to be fixed to the adhesive. Fix in strict accordance with manufacturers instructions. If in doubt call 01304 842555</p>
Separation Floors	<p>FLOOR</p> <p>Carefully remove the existing floor boards and store on site for re-use. Onto the existing joists lay Gyproc Gypframe SIF2 channels complete with a resilient strip. Do not mechanically fix channels to joists. 19mm Gyproc plank laid between existing floor joists supported on Gypframe channels.</p> <p>Onto Gyproc plank lay one layer of Tecsound 50 sound insulating layer in strict accordance with manufacturers recommendations. Between the existing joists lay one layer of 100mm mineral wool insulation of 60/kg per m3 density.</p>
Cornice Fire Protection	All cornices to the ground floor to be protected by infilling all cracks with Envirograph Intumescent cement Product 63 or mastic Product 58. Apply 2 coats of EP/CP intumescant coatings to the cornice. If it will not adhere apply a PVA adhesive coating at 50/50 ratio adhesive to water. Apply at a rate of 8m sq per litre.

General Scope of Works

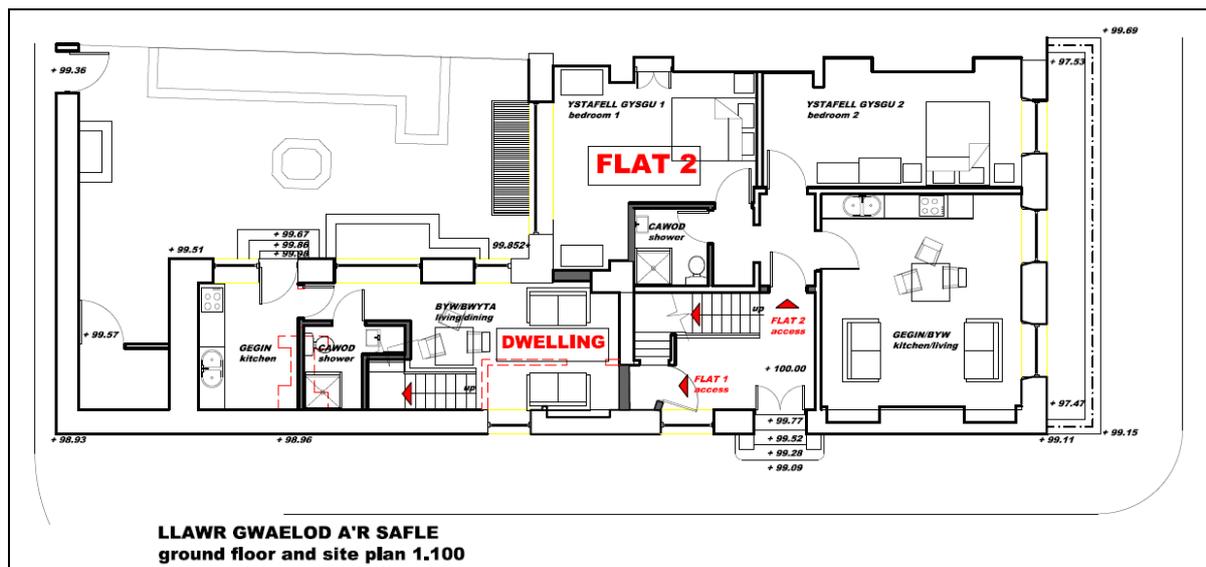
LOWER GROUND FLOOR (Flat 1)



Internal Works	
Cornices/Covings	All existing Cornices/Covings to be protected at all times.
Wall	Brick wall shown in a broken green line and cart away from site. Make good to all areas disturbed.
Existing Openings (No new openings required)	Carefully inspect the existing doors, door frames and architrave and repair if needed. No sign of repairs required to date. Retain all skirtings and frames.
Plaster	The existing lime plaster to remain on the existing stone walls. Remove all loose plaster and where building works have disturbed the existing plaster. Re-plaster in lime mortar, thickness to match the existing. Clean off all old paper etc and prepare walls to receive new paint finish. All lime based walls to be finished with mineral paints such as clay based paints as manufactured by 'Earthborn'. Prime any wall that shows any signs of water penetration with Earthborn Isolating primer
Fire Place	Any existing fireplaces to remain. Allow for protection during the works.
Fireproofing	FIREPROOFING This floor to have a 60 minute fire resistance using

	<p>the following method.</p> <p>All products are from the Envirograf product range. Clean off any existing ceiling paper and scrape off any loose paint. If gloss paint rub down and coat with Product 93 ES/Stabond. Ensure that all distemper is removed from the ceilings.</p> <p>Seal off all cleaned ceilings with Product 93ES/Stabond to aid adhesive not to dry out due to ceiling absorbing moisture. Cut the Product 84 Envirograf S/Ceiling intumescent cloth to size and apply to ceiling, applying the adhesive using a comb float.</p> <p>Apply a coat of CA/N adhesive to the ceiling using a serrated edged application. Use a clean scraper and roll with a paper type roller the S/Ceiling paper onto the ceiling.</p> <p>Emulsion paint the ceiling after 2-3 hours. Note the white side of the S/Ceiling product to be fixed to the adhesive.</p> <p>Fix in strict accordance with manufacturers instructions. If in doubt call 01304 842555</p> <p>CORNICE FIRE PROTECTION All cornices to be protected by infilling all cracks with Envirograph Intumescent cement Product 63 or mastic Product 58.</p> <p>Apply 2 coats of EP/CP intumecent coatings to the cornice. If it will not adhere apply a PVA adhesive coating at 50/50 ratio adhesive to water. Apply at a rate of 8m sq per litre.</p>
Separation Floors	<p>FLOOR Carefully remove the existing floor boards and store on site for re-use. Onto the existing joists lay Gyproc Gypframe SIF2 channels complete with a resilient strip. Do not mechanically fix channels to joists. Lay 19mm Gyproc plank laid between existing floor joists supported on Gypframe channels. Onto Gyproc plank lay one layer of Tecsound 50 sound insulating layer in strict accordance with manufacturers recommendations. Tuck Tecsound 50 insulating layer up behind the skirting by 150mm. Between the existing joists lay one layer of 100mm mineral wool insulation of 60/kg per m3 dens. Re-lay existing floorboards. Any new floorboards required to be reclaimed timber to match the existing boards.</p>
Skirtings	<p>Only to be removed if necessary for removal of floorboards. All skirtings to be rubbed down and repainted.</p>

GROUND FLOOR (Flats 2 & Dwelling)



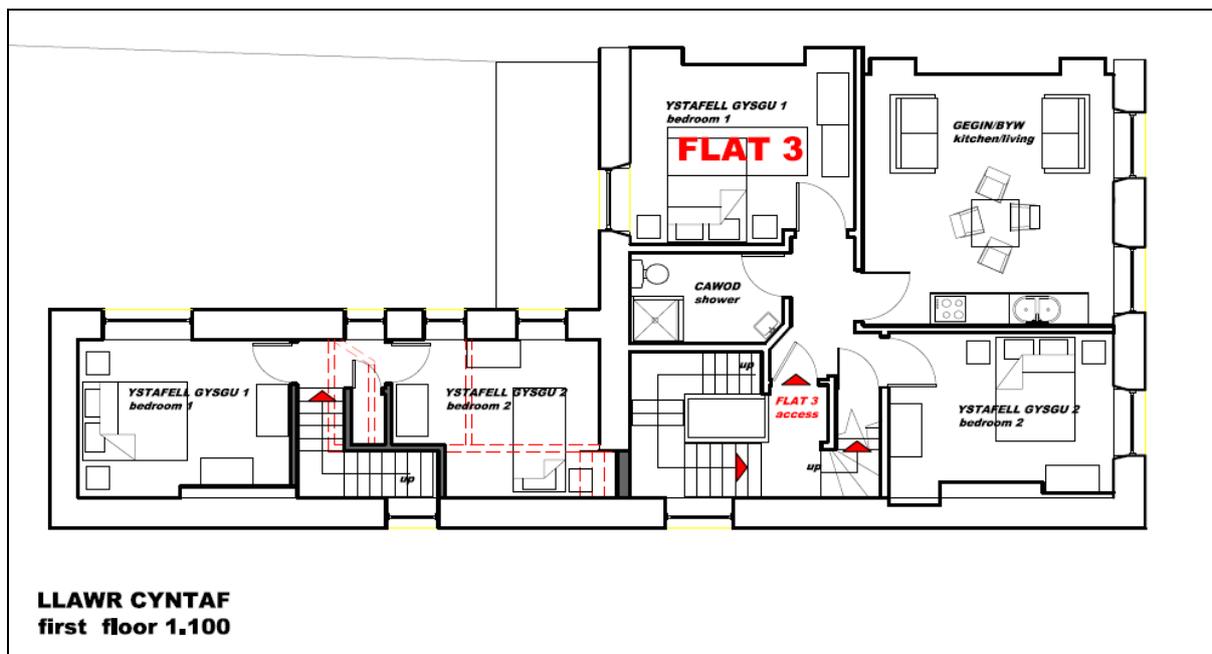
Internal Works	
<p>Doors</p>	<p>UPGRADING EXISTING DOORS.</p> <p>All doors labelled 'upgrade' to be fire upgraded by using the following method.</p> <p>Ensure that the doors being treated are dry and have not been subject to a damp environment for a long period. Should this be the case take the doors away and have them stored in a heated space for a period of 2 months.</p> <p>All door stiles with a thickness of less than 36mm must have stiles, rails and beads coated with Envirograf Intumescent coating system. Doors in excess of 36mm need only have the beads coated. Wash all varnished doors down with detergent water and clean off with warm clean water. Ensure that all wax and grease has been removed. Use Envirograf de-waxing fluid if necessary. Rub all panels with coarse glass paper and dust off and remove all flaking varnish and ensure that all corners are given a good key. Apply one coat of Envirograf Product 93 (stabond).</p> <p>Coat all beads and if necessary all rails and styles with Envirograf Product 42 (HWAP adhesion primer) at 12m² per litre, allow drying time of around 30 minutes.</p> <p>When dry apply two coats of Envirograph Product 42 HWO2E intumescent coating at 8m² per litre per coat. This should dry within 1 to 1.5 hours. Cut the Envirograph veneer or plywood panels to the size of each door panel, then evenly apply with a comb applicator Envirograf Product 46 (IA water based intumescent adhesive) to both the grey flecked side and to each door panel to ensure a perfect bond.</p>

	<p>Once the adhesive has been applied to both surfaces insert the Envirograf veneer or plywood panels on the door panel. Once everything is dry, apply the Envirograph plywood panels on the door panel. Once everything is dry apply the Envirograf clear top coat to the whole door.</p> <p>Wash all painted doors down with detergent water and clean off with warm clean water. Ensure that all wax and grease has been removed. Use Envirograf de-waxing fluid if necessary. Rub all panels with coarse glass paper and dust off and remove all flaking paint and ensure that all corners are given a good key.</p> <p>Apply one coat of Envirograf Product 93 (stabond) to the panels only.</p> <p>Coat all beads and if necessary all rails and styles with Envirograf Product 42 (HWAP adhesion primer) at 12m² per litre, allow drying time of around 30 minutes.</p> <p>When dry apply two coats of Envirograph Product 42 HW01F intumescent coatings to the beads, styles and rails at 8m² per litre per coat. Cut the white card to the size of each door panel, then evenly apply with a comb applicator Envirograf Product 46 (IA water based intumescent adhesive) to both the grey flecked side and to each door panel to ensure a perfect bond. Once the adhesive has been applied to both surfaces insert the white card on the door panel. Once everything is dry, apply the Envirograph product 42 HW04/S undercoat and HW top coat to the door and panels. Do not apply any adhesion primer to the panels.</p> <p>Important only the risk side (ie the room side) of the door needs to be upgraded. If the door is at the top of stairs or is separating from a corridor, then both sides of the door must be treated.</p>
Wall	<p>To areas indicated remove the existing skirtings and fixtures from the internal face of the stone wall and cart off site. Install Knauf Independent I stud lining IWLC3/13 at 600mm centres set 10mm off face of existing external wall. Between studs supply and fix 70mm thick Celotex RS5000 insulation board. Onto face of studs Knauf PIR insulated vapour control plasterboard of 65mm thickness. the above to give an U value of 0.20 W/m²k. To all bathrooms/shower/kitchen areas use moisture resistant vapour control PIR plasterboard. Allow for re-fixing the existing skirtings on completion. Supply and fix new MDF window boards with timber edging to receive a paint.</p> <p>Dwelling - Carefully demolish the existing</p>

	<p>plasterboard wall that has been built directly underneath the existing beam and cornice detail. Ensure beam and cornice remain intact. Where new wall crosses the beam take care to build the new wall around the cornice and beam and on no account should the cornice be removed.</p>
Floor	<p>Carefully remove the existing floor boards and store on site for re-use. Onto the existing joists lay Gyproc Gypframe SIF2 channels complete with a resilient strip. Do not mechanically fix channels to joists. Lay 19mm Gyproc plank laid between existing floor joists supported on Gypframe channels. Onto Gyproc plank lay one layer of Tecsound 50 sound insulating layer in strict accordance with manufacturers recommendations. Tuck Tecsound 50 insulating layer up behind the skirting by 150mm. Between the existing joists lay one layer of 100mm mineral wool insulation of 60/kg per m3 density</p>
Arch	<p>The existing Ground Floor feature arches on each property feature to be retained.</p>
Fire Place	<p>The existing fireplaces to remain. Allow for protect during the works.</p>
Fire Doors	<p>FIRE DOORS</p> <p>All doors indicated with FD30S to be of 30 minute fire resisting doors complete with intumescent fire and smoke seals. FD20 doors to be 30 minumte doors fitted with intumescent strips only. All doors to be hung in suitable door linings using 1 ½ pairs of 100mm steel hinges, with centre hinge positioned as recommended by fire door manufacturer. Glue and screw 19 x 32mm softwood door stops to linings with bullnosed edge architraves. All fire doors to have 'Fire Door – Keep Shut ' notice fitted except for cupboard doors which should have 'Fire Door - Keep Locked' notice fitted.</p> <p>Fix overhead door closers to all doors with 'SC' lettering and all doors noted VP to have vision panel of georgian wired clear glazing to be factory fitted and ensure that a zone of visibility from a height of 900mm to 1500mm (Min. zone) from finished floor level is achieved. All glazing to achieve the required fire resistance and safety requirements. Provide and fix 70x15mm thick hardwood threshold strips to all doors with chamfered edges to suit floor finish.</p>
Cornice Fire Protection	<p>All cornices to the ground floor to be protected by infilling all cracks with Envirograph Intumescent cement Product 63 or mastic Product 58. Apply 2 coats of EP/CP intumecent coatings to the cornice. If it will not adhere apply a PVA adhesive coating at 50/50 ratio adhesive to water. Apply at a rate of 8m sq per litre.</p>
Fire Proofing	<p>This floor to have a 60 minute fire resistance using the following method. All products are from the Envirograf product range.</p>

	<p>Clean off any existing ceiling paper and scrape off any loose paint. If gloss paint rub down and coat with Product 93 ES/Stabond. Ensure that all distemper is removed from the ceilings.</p> <p>Seal off all cleaned ceilings with Product 93ES/Stabond to aid adhesive not to dry out due to ceiling absorbing moisture.</p> <p>Cut the Product 84 Envirograf S/Ceiling intumescent cloth to size and apply to ceiling, applying the adhesive using a comb float.</p> <p>Apply a coat of CA/N adhesive to the ceiling using a serrated edged application. Use a clean scraper and roll with a paper type roller the S/Ceiling paper onto the ceiling.</p> <p>Emulsion paint the ceiling after 2-3 hours. Note the white side of the S/Ceiling product to be fixed to the adhesive.</p> <p>Fix in strict accordance with manufacturers instructions. If in doubt call 01304 842555</p>
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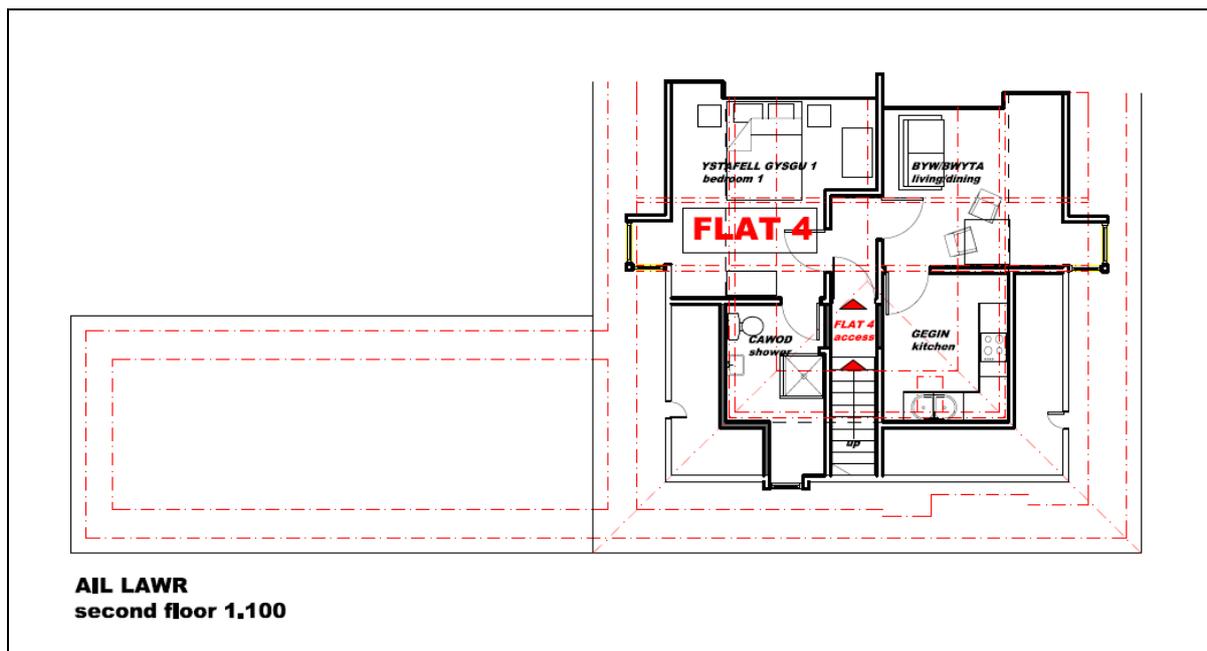
FIRST FLOOR (Flat 3 & Dwelling)



Internal Works	
Cornices/Covings	All existing Cornices/Covings to be protected at all times.
Plaster	Existing gypsum plaster to be removed where required. Re-plaster in lime mortar, thickness to match the existing.
Wall	To areas indicated remove the existing skirtings and fixtures from the internal face of the stone wall and cart off site. Install Knauf Independent I stud lining IWLC3/13 at 600mm centres set 10mm off face of existing external wall. Between studs supply and fix 70mm thick Celotex RS5000 insulation board. Onto face of studs Knauf PIR insulated vapour control

	<p>plasterboard of 65mm thickness. the above to give an U value of 0.20 W/m²k. To all bathrooms/shower/kitchen areas use moisture resistant vapour control PIR plasterboard. Allow for re-fixing the existing skirtings on completion. Supply and fix new MDF window boards with timber edging to receive a paint.</p> <p>Carefully demolish the existing plasterboard wall that has been built directly underneath the existing beam and cornice detail. Ensure beam and cornice remain intact. Where new wall crosses the beam take care to build the new wall around the cornice and beam and on no account should the cornice be removed.</p>
Existing Door	Carefully remove the existing door, door frame and architrave and store on site for re-use in new adjacent door opening. Block up door opening in studwork as described elsewhere
Fire Place	The existing fireplaces to remain. Allow for protect during the works.

Second Floor (Flat 4)



Internal Works	
Cornices/Covings	All existing Cornices/Covings to be protected at all times.
Plaster	Existing gypsum plaster to be removed where required. Re-plaster in lime mortar, thickness to match the existing.
Roof Light	Within stairwell New velux emergency smoke release rooflight code GGU SK06 007340 fitted in strict accordance with manufacturers recommendations.
New Openings	Carefully break through the existing wall to form a new door opening. Build in new lintels. Make good all

	work disturbed. Build in new door and frame.
Fire Place	The existing fireplaces to remain. Allow for protect during the works.
New Dormer window	Carefully remove the existing casement dormer window and replace with new triple sash window to match windows either side
Partitions	All internal partitions indicated thus to be formed of 15mm plasterboard to both sides of a mass per unit area of 10kg/sqm, 89mm thick studs with a 30mm Rockwool RWA45 semi rigid slabs laid between the studs

EXTERNALLY

External Works	
External Decoration (Previously Painted)	<p>All timbers to be stripped bare and be clean and free from anything that will hinder adhesion of materials to be applied. Moisture content of wood not to exceed 18%. Remove paint by hot air stripper or proprietary paint stripper.</p> <p>Round all sharp edges to a 1-3mm radius. Scrub and swab surfaces of all timbers with natural oils with methylated spirits. Remove excess resin from knots by using a hot air paint stripper. Wipe all surfaces with methylated spirits to remove all remaining residues. Apply two thin coats of fresh knotting to all exposed knots.</p> <p>Prime all areas to be decorated with one coat of Santex Trade flexible Primer-undercoat (not less than 63 micrometres coat thickness) in accordance with manufacturers instructions. Ensure end grain is well coated. Denib using fine grade Scotch-Brite.</p> <p>Apply two full coats of Santex Trade Flexigloss X-tra in accordance with manufacturers instructions. Ensure that end grain is well coated. Each coat thickness not to exceed 59 micrometres.</p> <p>Apply a suitable exterior capping sealant to cover the joints between glass, glazing system and decorated beads in accordance with manufacturers instructions. Apply a suitable approved perimeter sealant to window and door frames.</p>
Windows & Window Joinery	Existing windows to be weather proofed using Mighton products as follows. Into parting beads install 25 x 7mm brush white unit, at meeting sashes fix meeting rail interlock. At sash edges supply and fix T brush bar seal
Glass	To all missing or damaged glazing, remove any remaining old glazing using a putty knife. Remove any glaziers points or nails. Sand around the glazing bars/window frame using a fine grit sanding pad. Place new glass back into the panes. Insert new



glaziers points into the same position as the original. Roll a long bead of glazing putty and press into the joint between the window /glazing bar and the glass. Pull a putty knife across the glazing putty at a 45 degree angle to slope downward towards the glass.

Allow the putty to cure for 10 days. Apply primer, leave to dry and apply two coats of external paint.

4. Impact of the Proposed Works

PROPOSED WORK	OUR OBJECTIVE	SIGNIFICANCE OF AFFECTED FABRIC	ASSESSING BENEFICIAL IMPACT	ASSESSING HARMFUL IMPACT	PROPOSED SOLUTION
Ground Floor (Dwelling) – Remove existing partitions and Construct new partitions for kitchen area & Bedroom area	To provide safe access, egress and modern living spaces and facilities	Existing walls will be removed. New partitions will be created within existing spaces. Opening will be formed through existing lath & plaster walls	The new doorways will have doors and architraves to match existing. Skirting boards where they need to be replaced are to match existing and coverings on walls will be made good where necessary.	There will be the loss of approximately 5sqm of original lath and plaster partition.	Various layout options have been considered and this was deemed to have the least impact on the existing layout and structure. The works will allow the spaces to become more usable with minimal damage to the existing fabric
First Floor (Dwelling) – Remove existing partitions and Construct new partitions for kitchen area & lounge area	To provide safe access, egress and modern living spaces and facilities	Existing walls will be removed. New partitions will be created within existing spaces. Opening will be formed through existing lath & plaster walls	The new doorways will have doors and architraves to match existing. Skirting boards where they need to be replaced are to match existing and coverings on walls will be made good where necessary.	There will be the loss of approximately 15sqm of original lath and plaster partition.	Various layout options have been considered and this was deemed to have the least impact on the existing layout and structure. The works will allow the spaces to become more usable with minimal damage to the existing fabric
First Floor – (Dwelling) Upgrade doors & introduce new partitions	To provide safe access, egress and modern living spaces and facilities	No walls will be removed. New partitions will be created within existing spaces. Opening will be formed through existing lath & plaster wall for services cupboard.	The new doorways will have doors and architraves to match existing. Skirting boards where they need to be replaced are to match existing and coverings on walls will be made good where necessary.	Closing existing openings and allowing new openings will alter some of the appearance but the flow of the layout via the stairway will remain the same	The works will allow the spaces to become more usable with minimal damage to the existing fabric
Second Floor (Flat 4) – Remove existing partitions and Construct new partitions for kitchen area & lounge area	To provide safe access, egress and modern living spaces and facilities	Existing walls will be removed. New partitions will be created within existing spaces. Opening will be formed through existing lath & plaster walls	The new doorways will have doors and architraves to match existing. Skirting boards where they need to be replaced are to match existing and coverings on walls will be made good where necessary.	There will be the loss of approximately 25sqm of original lath and plaster partition.	Various layout options have been considered and this was deemed to have the least impact on the existing layout and structure. The works will allow the spaces to become more usable with minimal damage to the existing fabric

5. The setting of the Listed Building

The setting of a listed building is the surroundings in which it is understood, experienced and appreciated, embracing present and past relationships to the surrounding landscape. Views to, from and across a historic asset are an obvious form of evaluation, but other sensory elements may be relevant too, including topography, layout, use, noise, and light pollution, as well as historic, artistic, literary, cultural or scenic associations, tranquillity and remoteness.

The setting of a listed building is a material planning consideration, as set out in section 66 of the 1990 Act.

The chief consideration here is whether the conversion of the building, by undertaking internal works will be detrimental to the setting of an existing Grade II* listed building.

It must be re-emphasised at this point that the buildings are listed for their group value and the importance they each play as being one of the end terraced properties.

6. Legislation and Policy

The legislative and policy context includes the following:-

- 1990 Planning (Listed Buildings and Conservation Areas) Act, section 66
- 2016 Historic Environment (Wales) Act 2016
- Welsh Office Circular 61/96 (Planning and the Historic Environment: Historic Buildings and Conservation Areas), paragraphs 66-71 and 94-97
- Planning Policy Wales Edition 9 (November 2016), Section 6
- Technical Advice Note 12: Design
- Ceredigion Local Development Plan 2007-2022 - policy DM19 (historic and cultural landscape)
- Conservation Principles for the Sustainable Management of the Historic Environment in Wales', Cadw, 2010.

Background context includes:-

- Draft Technical Advice Note 24: the Historic Environment and its draft annexes, including 1 (Heritage Impact Assessment in Wales), 2 (Managing Change to Listed Buildings in Wales) and 6 (Setting of Historic Assets in Wales)

A breakdown of the most specific policies withinj all the above documents is provided below:

Planning Policy Wales (Nov 2012)

Chapter 6 – Conserving the Historic Environment

Listed buildings

6.5.8 There should be a general presumption in favour of the preservation of listed buildings. The continuation or reinstatement of the original use should generally be the first option when the future of a listed building is considered. However, not all original uses will now be viable or necessarily appropriate. The application of development and listed building controls should recognise the need for flexibility where new uses have to be considered to secure a building's survival. The aim should be to identify the optimum viable use that is compatible with the character and setting of an historic building.

6.5.9 Where a development proposal affects a **listed building** or its setting, the primary material consideration is the statutory requirement to have special regard to the desirability of preserving the building, or its setting, or any features of special architectural or historic interest which it possesses.

6.5.10 Applicants for **listed building consent** must be able to justify their proposals, show why alteration or demolition of a listed building is desirable or necessary. It is generally preferable for both the applicant and the planning authority if related applications for planning permission and listed building consent are considered concurrently. Consideration of proposals for a listed building should be made on the basis of a full, rather than an outline planning consent. Planning permission alone is insufficient to authorise works to a listed building.

TAN 24 – The Historic Environment

1.25 The setting of an historic asset includes the surroundings in which it is understood, experienced, and appreciated embracing present and past relationships to the surrounding landscape. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral. Setting is not a historic asset in its own right but has value derived from how different elements may contribute to the significance of a historic asset.

Many listed buildings can sustain a degree of sensitive alteration and extension to accommodate continuing or new uses. Past changes that reflect the history of use and ownership may themselves be aspects of the special interest of the listed building. When applicants and the local planning authority assess the heritage values and significance of a listed building, which is the subject of a consent application, they must consider the sensitivity of that building to the proposed changes. Sustaining the special interest and significance of a listed building through the process of alteration, extension or re-use is exacting, and should always be based on specialist knowledge and skill in order to realise the benefits that well-designed interventions can bring.

Local Planning Policy

Ceredigion LDP Adopted April 2013

Policy DM06:

High Quality Design and Placemaking

Development should have full regard, and positively contribute to the context of its location and surroundings. Development should reflect a clear understanding of design principles, the local physical, social, economic and environmental context.

Development should:

1. Promote innovative design whilst having regard to local distinctiveness and cultural heritage in terms of form, design and material;
2. Compliment the site and its surroundings in terms of layout, respecting views into and out of the site, producing a cohesive form in relation to the scale, height and proportion of existing built form;
3. Have reference, where appropriate, to existing layout patterns and densities including changes of levels and prominent skylines;
4. Retain important natural features along with ensuring the use of good quality hard and soft landscaping and embracing opportunities to enhance biodiversity and ecological connectivity
5. Provide a safe environment by ensuring that the design of buildings and associated routes and open spaces consider safety principles;
6. Contribute to the creation of mixed and socially inclusive communities that provide for the health, education, recreation, community services and facilities, and social needs of all sections of the community;
7. Protect the amenity of occupiers of nearby properties from significant harm in relation to privacy, noise and outlook;
8. Encourage the re-use of materials wherever possible and ensure that new materials where used are sympathetic to the character of the locality;
9. Where practicable, include infrastructure for modern telecommunications and information; and
10. Have regard to Settlement Group Statements, Supplementary Planning Guidance, Conservation Area Appraisals and any other relevant supporting documents.

Policy DM07:

Conservation Areas

Development within Conservation Areas, as designated on the Proposal Map, and any future designated Conservation Areas must demonstrate that regard has been had to Conservation Area Appraisals, where available, and national guidance.

Policy DM19:

Historic and Cultural Landscape

Development affecting landscapes or buildings which are of historical or cultural importance and make an important contribution to the character and interest of the local area, will be permitted where the distinctive appearance, architectural integrity or their settings will not be significantly

adversely affected. Where possible development should enhance these qualities and special character.

The nature and scale of this proposal is considered to be in line with policy.

Listed Building Description



Summary Description of a Listed Buildings

Reference Number
10263

Building Number
7

Grade
II*

Status
Designated

Date of Designation
21/07/1961

Date of Amendment
24/11/1987

Name of Property
The Rectory

Address
7 Laura Place

Location

Unitary Authority
Ceredigion

Community
Aberystwyth

Town

Locality

Easting
258118

Northing
281632

Street Side

Location

7 Laura Place, Aberystwyth

To S of New Street, stepped in the slope overlooking St Michael's and All Angels Parish Church to W. So named after W E Powell of Nanteos married Laura Phelps.

Description

Broad Class
Domestic

Period

History

Built in 1810's, possibly by George Repton; No 9 extended to right ca 1900.

Exterior

2-storey basement and attic fronts; Nos 7 and 8 are 3-window and cement render, No 9 stepped up is 3+1 window and rendered; all scribed to 1st floor and channelled to ground floor with quoins. Slate roofs, bracket eaves and cement render, rubble and brick chimney stacks. Victorian dormers to Nos 7 and 8 with cusped bargeboards, modern dormers to No 9 with grouped floors; No 9 has raised pediments to 1st floor over a stringcourse at the eaves level of Nos 7 and 8. Scribed cement render left end with raised entrance no No 7, fine fluted column doorcase with wide cornice, panelled reveals and door with traceried fanlight. Similar doorcases to Nos 8 and 9, double doors to No 8. Stringcourse of No 9 continues around right side with pediments over bolection moulded lintels; shutters to sash windows without glazing bars. SE corner has Edwardian octagonal 'prospect tower' with small panes to upper sashes, egg and dart cornice and volute brackets. Part rubble rear with tall 18-pane sash to staircase, rubble rear to Nos 7 and 8. All retain contemporary wrought iron railings with interlace balusters. No 9 bounded to right by cement rendered wall.

Interior

Interiors retain substantial contemporary detail particularly to entrance halls. No 8 has stairwell arch carried on paired fluted Doric columns with acanthus ornament and panelled soffit. Reeded doorcases etc.

Reason for designation

Group value with other listed items in Laura Place, Great Darkgate Street, King Street and New Street.

7. Evaluation of the proposed scheme in the context of the Conservation Principles.

The application site is located within the Aberystwyth Conservation Area as identified within the adopted LDP.

Principle 1 – Historic Assets will be managed to sustain their values

Changes in the historic environment are inevitable and conservation of historic buildings is about the careful management of change, having special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. The proposed works are perceived as conserving the special character of the house whilst upgrading its facilities for present-day residential use. The work mainly centres on replacing recent additions considered to be of low importance, with little impact on the character of the house.

Principle 2 – Understanding the significance of historic assets is vital

In evidential terms, the structural history of both properties is not difficult to unravel through a careful visual survey. The proposed work will not detract from the composite character of the houses or their visual appeal on the street. In terms of communal value, to the historian, no. 7 Laura Place is attractive Georgian house associated with the Aberystwyth's rich history. The proposed scheme has no negative impact on any of this.

Principle 3 – The historic environment is a shared resource

Although the application properties are private buildings they have strong local associations with Aberystwyth. The works will assist in bringing redundant, historical buildings back into functional uses by creating an efficient development of high quality apartments that respect the character and history of the location. These are high quality apartments by a highly respected local developer who has experience in dealing with listed buildings within Aberystwyth – this being his 3rd major apartment scheme within a listed building within the last 2 years.

In terms of public interest, the legal procedures needed to obtain listed building consent provide the mechanisms for arbitrating between private and public interests.

Principle 4 – Everyone will be able to participate in sustaining the historic environment

It is hoped that this document will assist ensuring that decisions about Laura Place are taken in an open and transparent manner, as well as sharing what is known about the house to date, raising people's awareness and understanding of their heritage. All contractors involved will be suitably qualified and/or experienced in undertaking works to best conservation practice.

Principle 5 – Decisions about change must be reasonable, transparent and consistent

It is hoped that this document will underpin this principle and provide a clear justification for proposed changes to the garage.

Principle 6 – Documenting and learning from decisions is essential

The information and documentation gathered as a result of the proposed scheme will be retained by the owners.

8. Assessing the changes to 1 Laura Place in the context of the Conservation Principles

There are no external changes to the properties. Its visual impact on the conservation area is therefore extremely limited.

9.0 Conclusion

This heritage statement has been prepared to accompany the listed building applications for proposed works at no.7 Laura Place, Aberystwyth specifically the conversion of the existing dwelling into apartments and dwelling. The main house and its boundary walls will remain untouched and unaffected (from a construction perspective).

The proposal does not materially impact the appearance of the listed building but it does allow the building to adapt and become useful to potential occupiers.

The proposed re-development will not have a detrimental impact on the setting of this or adjoining listed buildings or conservation area in general. The only changes from a visual perspective will be internally where access will be for residents and visitors only.

The statement has clearly demonstrated an understanding of the listed building and provided justification as to why this design is deemed appropriate.

The application should be approved.